

CERTIFICATE

- 1. Plot No. - 83A, PUTARIY BANERJEE PARA ROAD.
- 2. Assessee Name - M. RAJADIP SAHA.
- 3. Name of Owners - M. RAJADIP SAHA.
- 4. Ared Of The Land - 272/36 SOM - 04K - 01 CH - 11 SH
- 5. Permissible Height in Reference to CCIM issued by AAI - 33.00 M
- 6. Co-ordinate in WGS 84 and Site Elevation (MSL)

Reference points marked in the site plan of the proposed

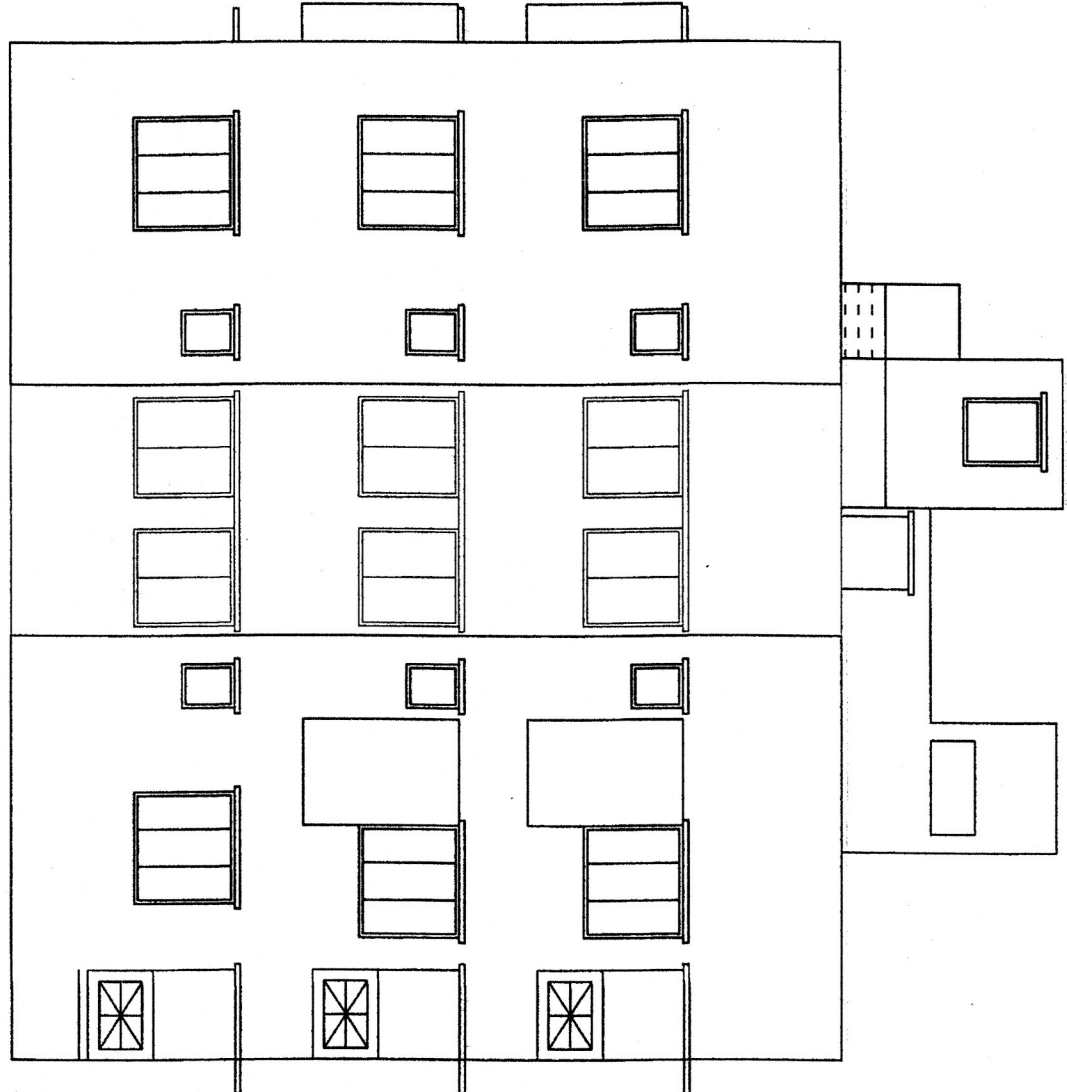
Co-ordinate in WGS	Site Elevation
22°28'43.95"N	88°20'33.13"E

MR. RAJADIP SAHA  
SIGNATURE OF OWNER

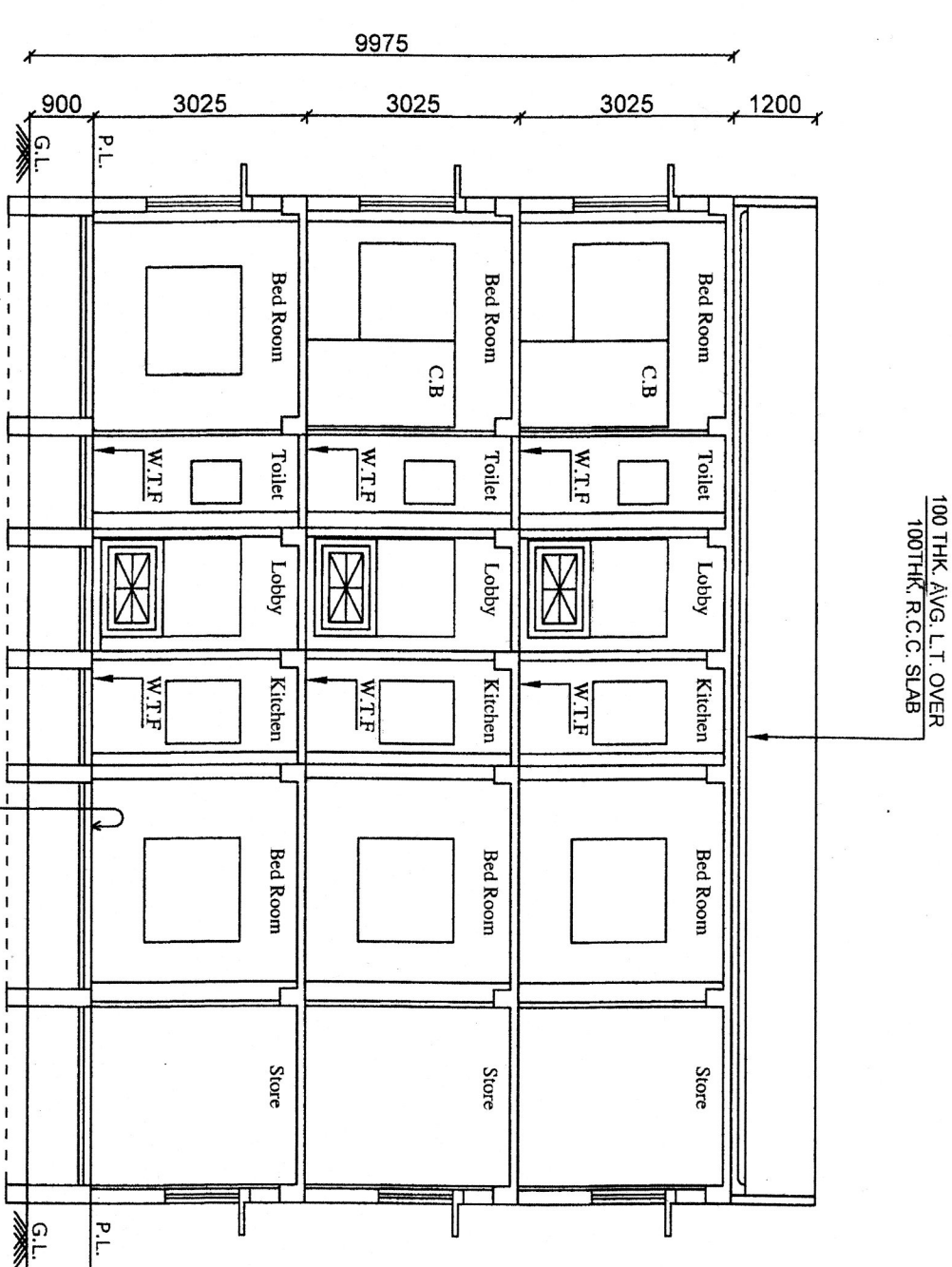
DOORS & WINDOWS SCHEDULE	WIDTH	HEIGHT	WINDOWS MKD	WIDTH	HEIGHT
D01	1800	2100	W1	1800	1350
D02	900	2100	W2	1350	1350
D03	750	2100	W3	900	1050
			W4	600	700

AREA STATEMENT  
1. Area of the land - 284.201 SQM. (04K-04 CH - 003SH) (As per Deed)  
2. Area of the land - 272.356 SQM. (04K-01 CH - 11 SH) (As per 810)  
3. Area of the land - 272.356 SQM. (04K-01 CH - 11 SH) (As per 810 & 810)  
4. Permissible Ground Coverage - 67.575% (197.039 SQM)  
5. Proposed Ground Coverage = 157.031 SQM (57.522%)  
6. Proposed Floor Area:-

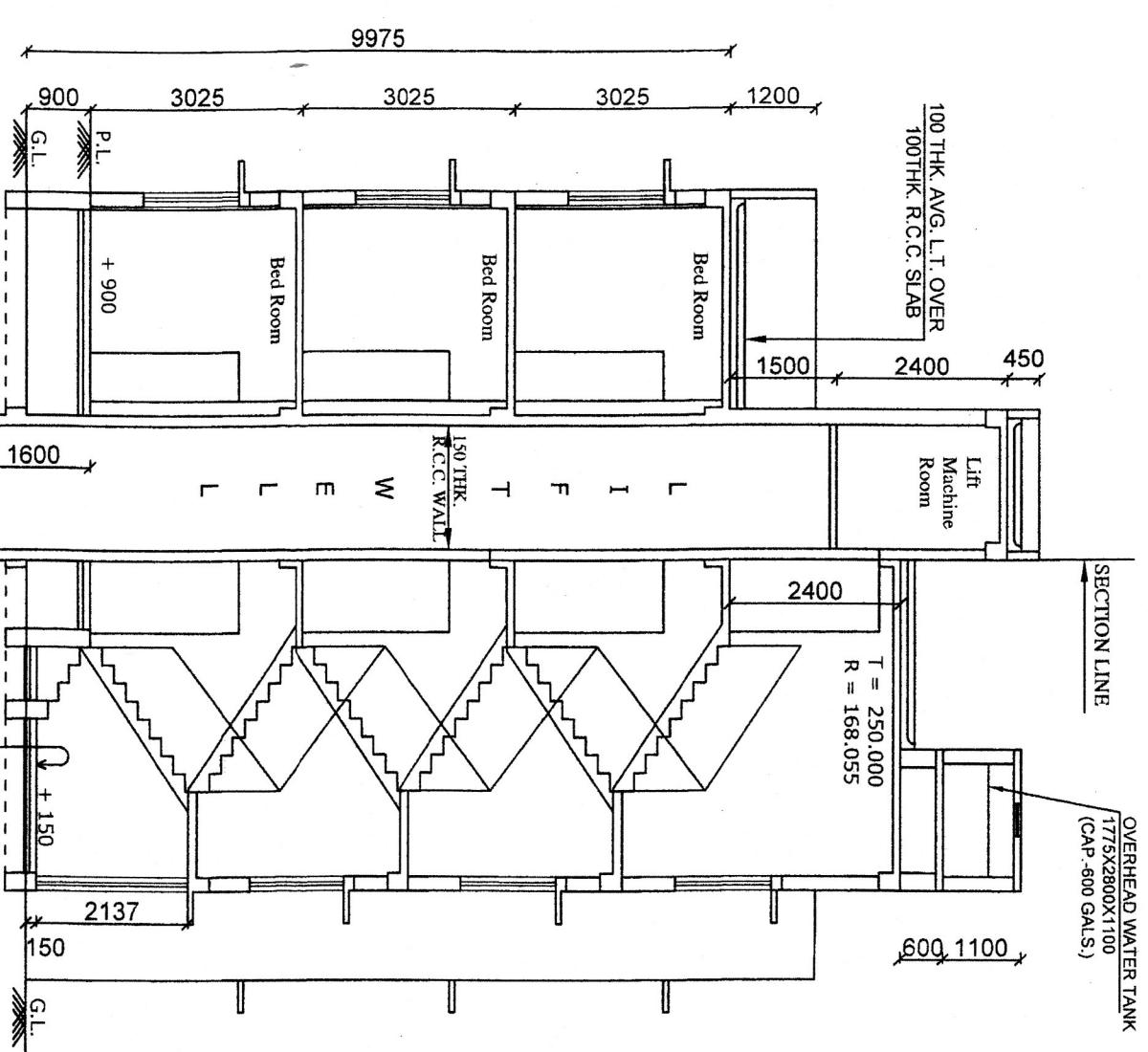
Floor	Residential	Shut Way	Shut Wall	Lift Well	Lift Lobby	Net Floor Area
Pro. Ground Floor Area :-	157.031 Sqm	10.560 Sqm	—	—	2.070 Sqm	144.401 Sqm
Pro. First Floor Area :-	157.031 Sqm	10.560 Sqm	—	—	2.070 Sqm	142.656 Sqm
Pro. Second Floor Area :-	157.031 Sqm	10.560 Sqm	—	—	2.070 Sqm	142.656 Sqm
Total Floor Area :-	471.093 Sqm	31.680 Sqm	—	6.21 Sqm	429.793 Sqm	
Tenement Area	Area to be added	—	—	—	—	
49.027 Sqm	4.876	—	—	—	—	
47.787 Sqm	4.751	—	—	—	—	
44.988 Sqm	4.475	—	—	—	—	



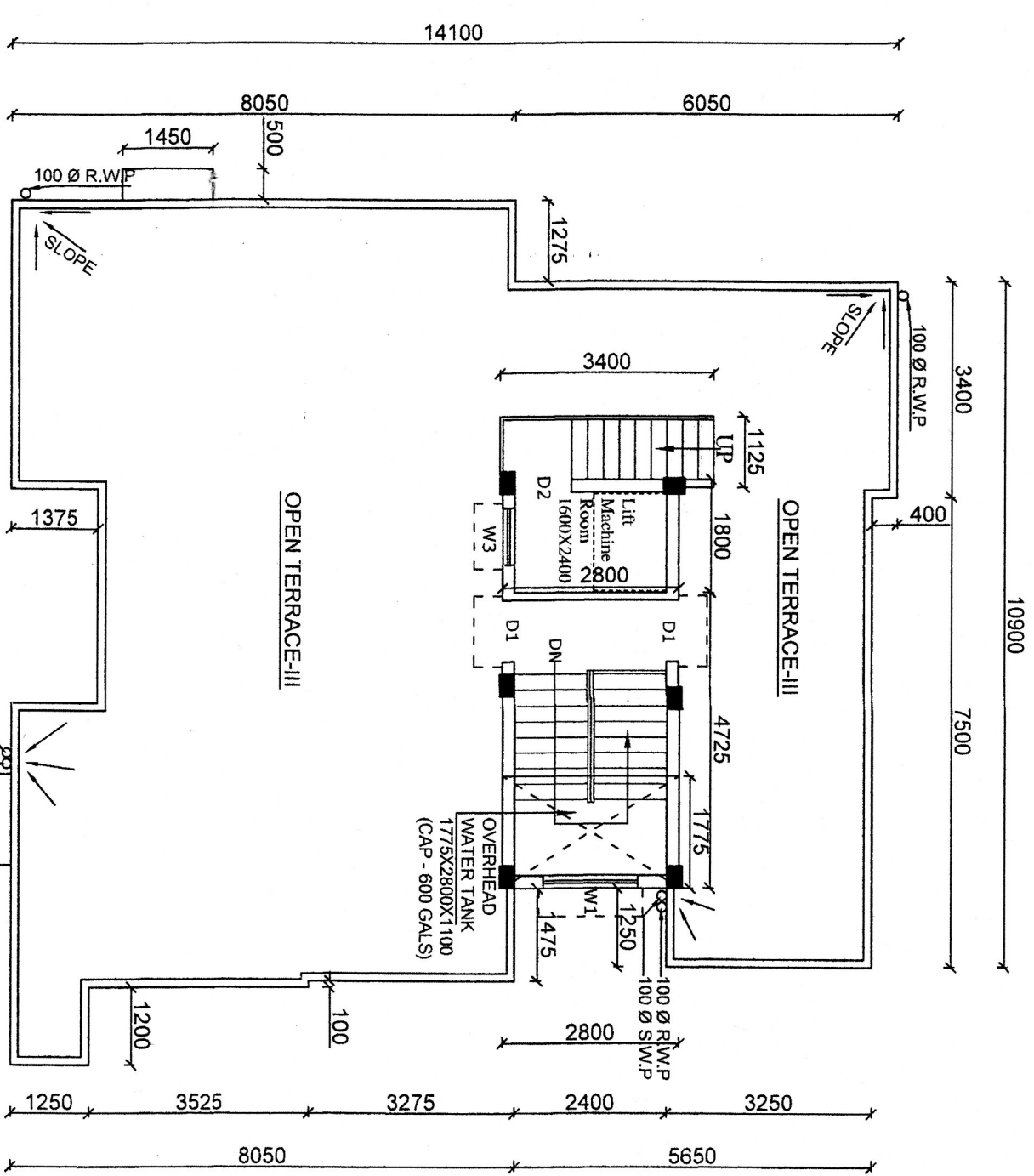
FRONT SIDE ELEVATION  
SCALE - 1:100



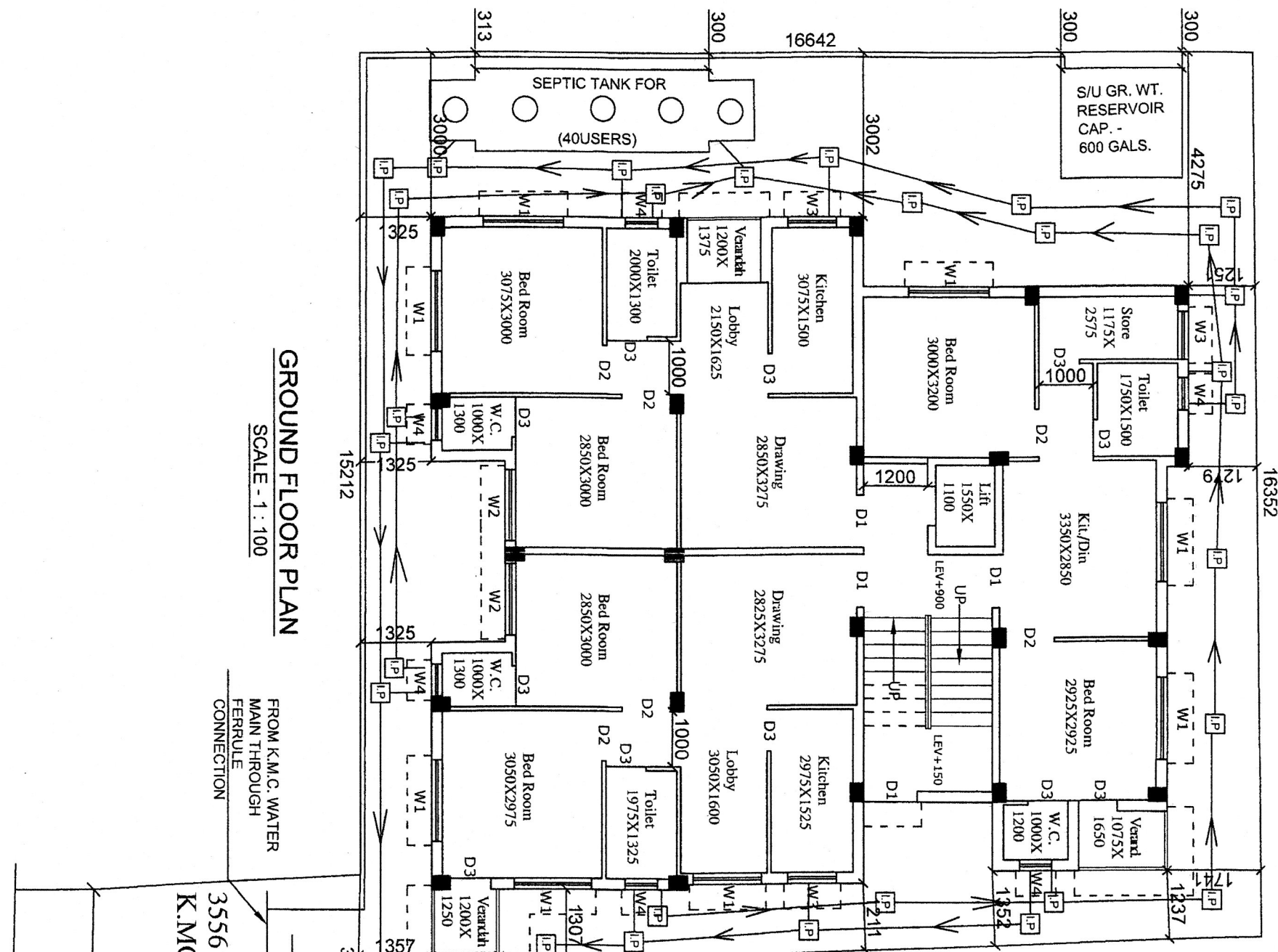
SECTION AT B-B  
SCALE - 1:100



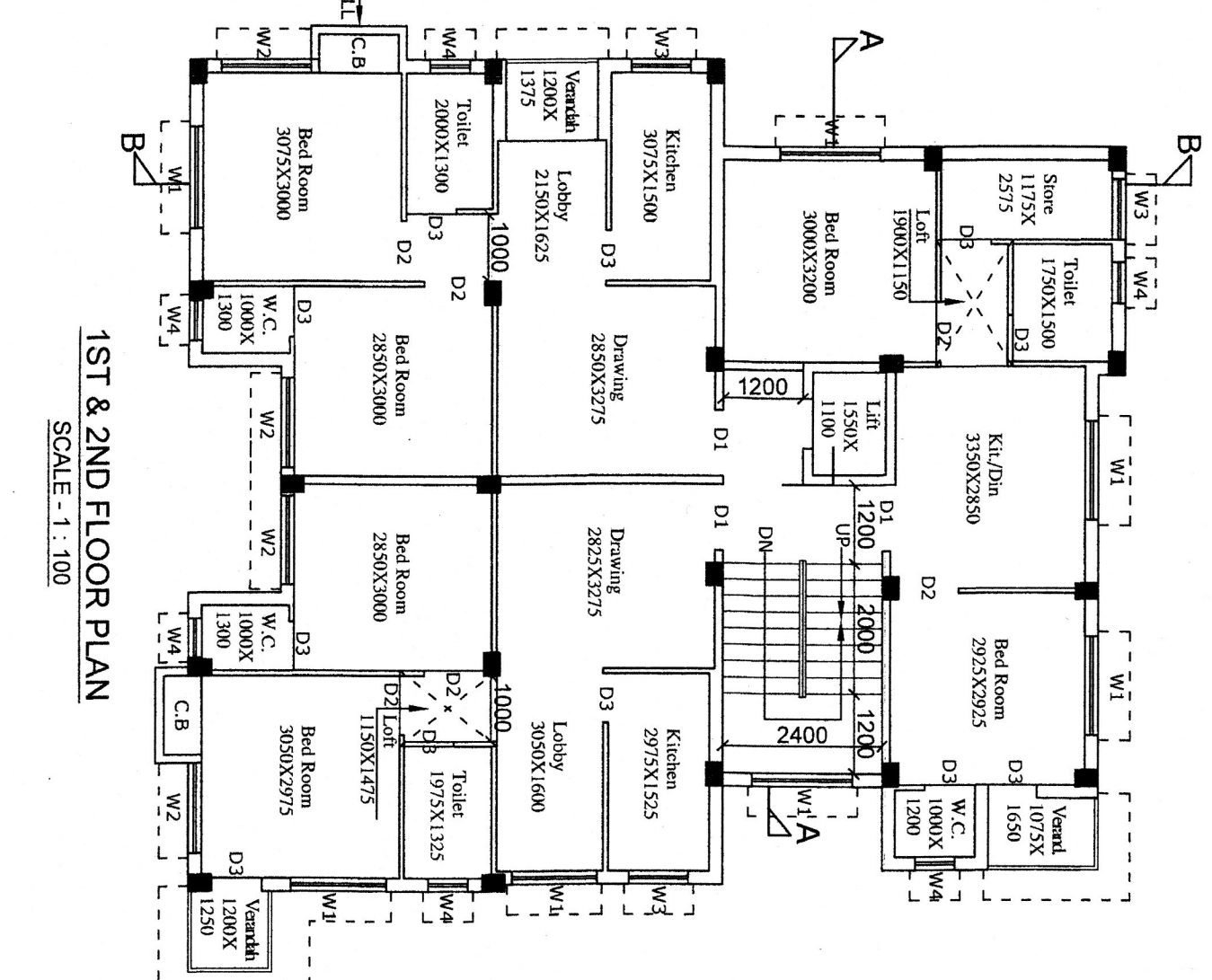
SECTION AT A-A  
SCALE - 1:100



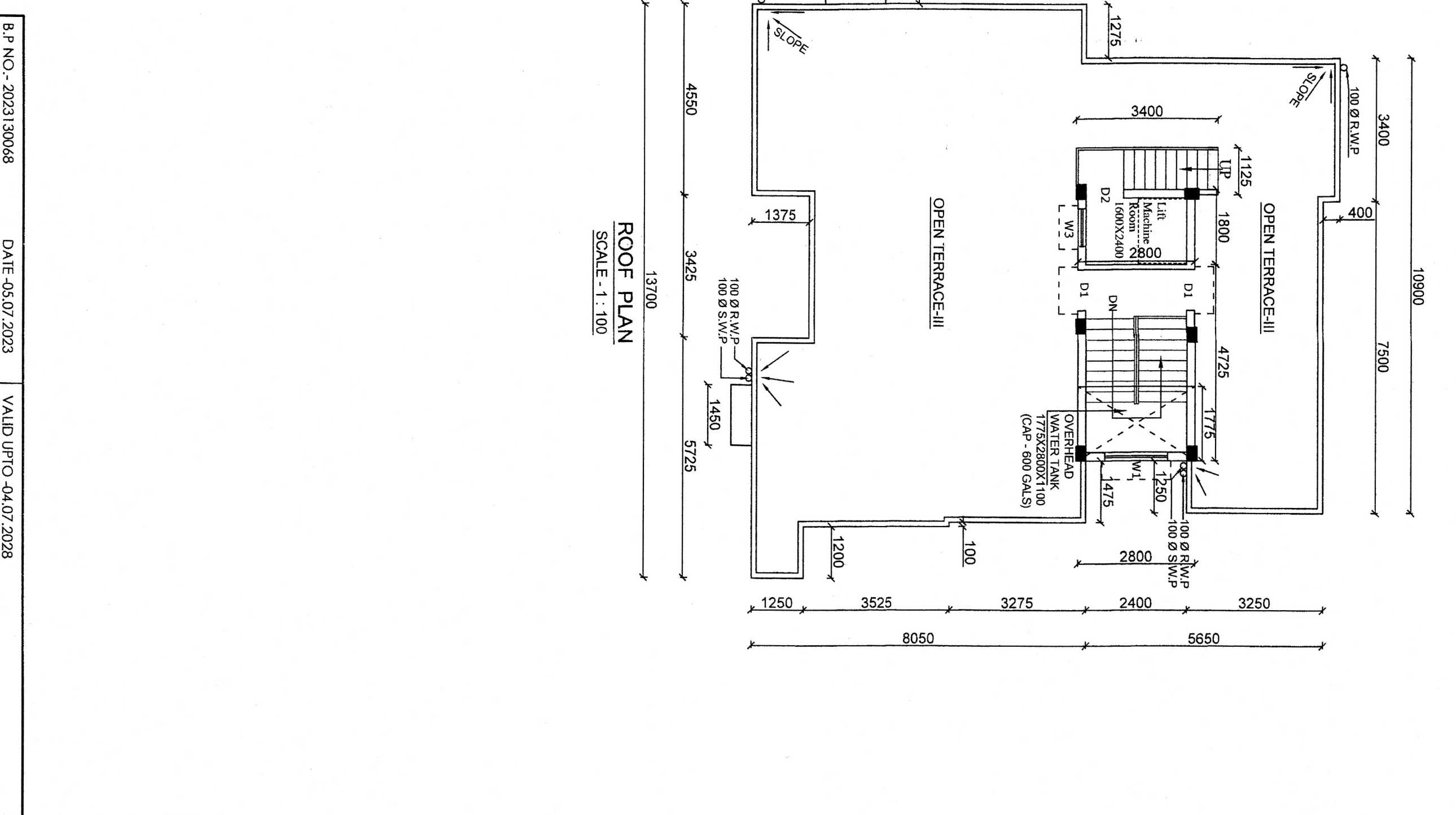
ROOF PLAN  
SCALE - 1:100



GROUND FLOOR PLAN  
SCALE - 1:100



1ST & 2ND FLOOR PLAN  
SCALE - 1:100



STATEMENT OF THE PLAN PROPOSAL

- 1. Assessee NO. - 41-115 - 10 - 1239 - 9
- 2. Details of Registered deed - Book No - 1 : Volume No. - 1602-2017 - Page No. - 42002/2019/P/PC/04/11 (24 Pgs. 50/4h)
- 3. Details of Rectification deed - Book No. - 1 : Volume No. - 1602-2019 - Page - 104443 - 108463 - Being No. - 160203037 - Dde - 17/04/2019/P/PC/04/11 (24 Pgs. South)
- 4. Details of Boundary Declarations - Page - 48351 - 48362 - Being No. - 160201254 - Dde - 02/02/2023/PC/04/11 (24 Pgs. South)
- 5. No. of Tenement : 07 Nos.
- 6. Size of Tenement :
  - a) Above 30 Sqm. : 3 Nos.
  - b) Above 50 Sqm. : 07 Nos.
  - c) Above 75 Sqm. : 01 No.
  - d) Above 100 Sqm. : 01 No.
  - e) Above 125 Sqm. : 01 No.
- 7/ (a) Car Parking Required - 1 No.
- 7/ (b) Car Parking Provided - Nil.
- 7/ (c) Access from the front road is part of the plot (Access from the front road is part of the plot 17/5) of K.M.C. Bldg. (the-2009. Car parking may not be insisted upon).
- 8. Height of Building : 9.975 M.
- 9. Depth of Building : 14.100 M.
- 10. Frontage Of the plot : 3.335 M.

NOTES AND SPECIFICATION

- 1. 1. Thk. of all outer walls are 200 mm with 1:3 cement sand mortar.
- 2. Thk. of all inner walls are 75 & 125 mm (mentioned in drawing) with 1:4 cement.
- 3. Width of the chajja 450 mm.
- 4. 19 mm thk. plastering to outer wall and 12 mm thk. to inner wall & 6 mm thk. to ceiling.
- 5. Depth of septic tank and S.U.C. W.R. should not exceed more than depth of foundation.
- 6. Grade of concrete M20/Grade of steel Fe-415.
- 7. Foundation is 150 mm.
- 8. The contractor shall be responsible for the building plan has been drawn as per provision of K.M.C. Building Code 2009. The contractor shall be responsible for the building plan has been drawn as per provision of K.M.C. Building Code 2009. The contractor shall be responsible for the building plan has been drawn as per provision of K.M.C. Building Code 2009.
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This structural design and drawing of the bath, foundation and super structure of the building have been made by me considering all the possible factors and the National Building code of India (with revision and certify that it is safe and stable in all respects.)

SAMIRAN MUKHOPADHYAY  
ENGINEER  
NAME OF E. S. E.

MR. RAJADIP SAHA  
NAME OF OWNER

CONSULTANT - DREAM ENGINEERING & CONSULTANCY

PLANNER, ESTIMATOR, SURVEYOR & INT DESIGNER  
e mail - dreamcv12017@gmail.com.  
CONTACT NO. - 8981752600, 7059377362

PROPOSED PLAN OF A III STORED RESIDENTIAL BUILDING AT PREMISES NO. - 83A, PUTARIY BANERJEE PARA ROAD WARD NO. - 11, 5, BOROUGH - XIII P.S. - HARDEDEVUR, UNDER K.M.C. U/S 393A OF K.M.C ACT. 1980 OF BUILDING RULE 2009.  
NAME OF OWNER - MR. RAJADIP SAHA  
ARCHITECTURAL SHEET  
DRAWN BY: SIVENDU KUNDU

B.P. NO. - 20231300068 DATE - 05.07.2023 VALID UPTO - 04.07.2028  
ATISH RAJAN MANNIA  
DIGITAL SIGNATURE OF A/E